



Trek
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BUILDING PERMIT APPLICATION

STAFF USE ONLY
Date Received:
Received by:
Permit #:
Paid: \$35 Yes / No

Job Site Address _____

Applicant _____ Address _____

Phone _____ Email _____ City/St/Zip _____

Owner _____ Address _____

Phone _____ Email _____ City/St/Zip _____

General Contractor _____ Address _____

Contractor License Number _____

Phone _____ Email _____ City/St/Zip _____

Subcontractors

Plumber _____ Phone _____ Contractor License _____

Email _____

Mechanical _____ Phone _____ Contractor License _____

Email _____

Electrician _____ Phone _____ Contractor License _____

Email _____

Sewer/Water Contractor _____ Phone _____ Email _____

Type of Construction (check one box) Building Project Estimated Valuation: \$ _____
(Building Official will set valuation for permit fee)

- ☐ New ☐ Accessory Building ☐ Addition ☐ Remodel / Replace ☐ Deck
☐ Fence ☐ Pool ☐ New Driveway ☐ Sign ☐ Demolition

Project Description (include dimensions) _____

Zoning Information:

Lot # & Subdivision _____

Occupancy Classification and Use: _____

Setback... Front: _____ Sides _____ Rear _____ Is site on a corner lot? ☐ Yes ☐ No

Structure Height: _____ # of Story/ies _____ Lot Area _____ Lot Dimension: _____

Proposed Off Street Parking Spaces: _____

Verification of Application

I declare that the information provided in this application is true, correct, and complete to the best of my knowledge.


NAME (print) _____

SIGNATURE: _____ DATE: _____

Check List Copy of: ☐ Site Plans ☐ Drawings (Min. 8x10 Sheet or Digital)

Any Questions Please Call – David Tornow (319) 330-5880

- A. Only uses permitted in the "R" Districts shall be permitted.
 - B. The average lot area per family contained in the proposed plan, exclusive of the area occupied by right-of-way, will not be less than the lot area per family required in the district in which the development is located.
 - C. Said area shall then be designated on the official zoning map.
2. **Accessory Buildings/Structures.** No accessory building/structures may be erected in any required front yard and no separate accessory building/structure may be erected within 5 feet of a dwelling unit. In addition, private swimming pools shall only be located in a rear yard. No accessory building/structure shall be closer than 5 feet to the rear or side lot lines unless abutting an alley, in which case it may be within 1 foot of the lot line. Accessory buildings/structures located in the rear yard may not occupy more than 30 percent of the rear yard. Accessory garages which are entered directly from the alley shall be at least 15 feet from the alley right-of-way. Except for storage, no accessory building/structure shall be used without occupancy of the principal building. In such cases of storage use, there shall be no fee charged. All accessory buildings and structures shall require a development permit. Each application for an accessory building or structure permit shall be submitted prior to the installation of the building or structure and shall be approved or denied by the Zoning Administrator.



3. **Fences and Hedges.** The following regulations are for fences, hedges and swimming and landscape pool fences in all districts. A permit is needed for the construction of any fence. Each application for a fence permit shall be submitted prior to the installation of the fence and shall be approved or denied by the Zoning Administrator.

- A. Fences:
 - 1. No portion of a fence or hedge, excluding pergolas and arbors, shall exceed 6 feet in height. The height shall be measured vertically from the finished grade of the yard.
 - 2. Fences and hedges within the front-yard shall not exceed 3 feet in height, or be constructed of more than 30% solid material.
 - 3. Fences and hedges not more than 6 feet high may be erected on those portions of a lot that are as far back or further back from the street than the main building.
- B. Swimming and Landscape Pool Fences: Fences shall be provided for all permanent outdoor swimming and landscape pools with a depth greater than 18", or capacity greater than 5,000 gallons. Swimming and Landscape Pool fences shall meet the following conditions:
 - 1. Swimming and Landscape Pool Fences must be at least four feet high from the ground level, but should not exceed 6' above level of the pool. Spacing of the fence should not allow a 4" sphere to pass through.
 - 2. Swimming and Landscape Pool Fences must have a self-closing and self-latching device on the gate.

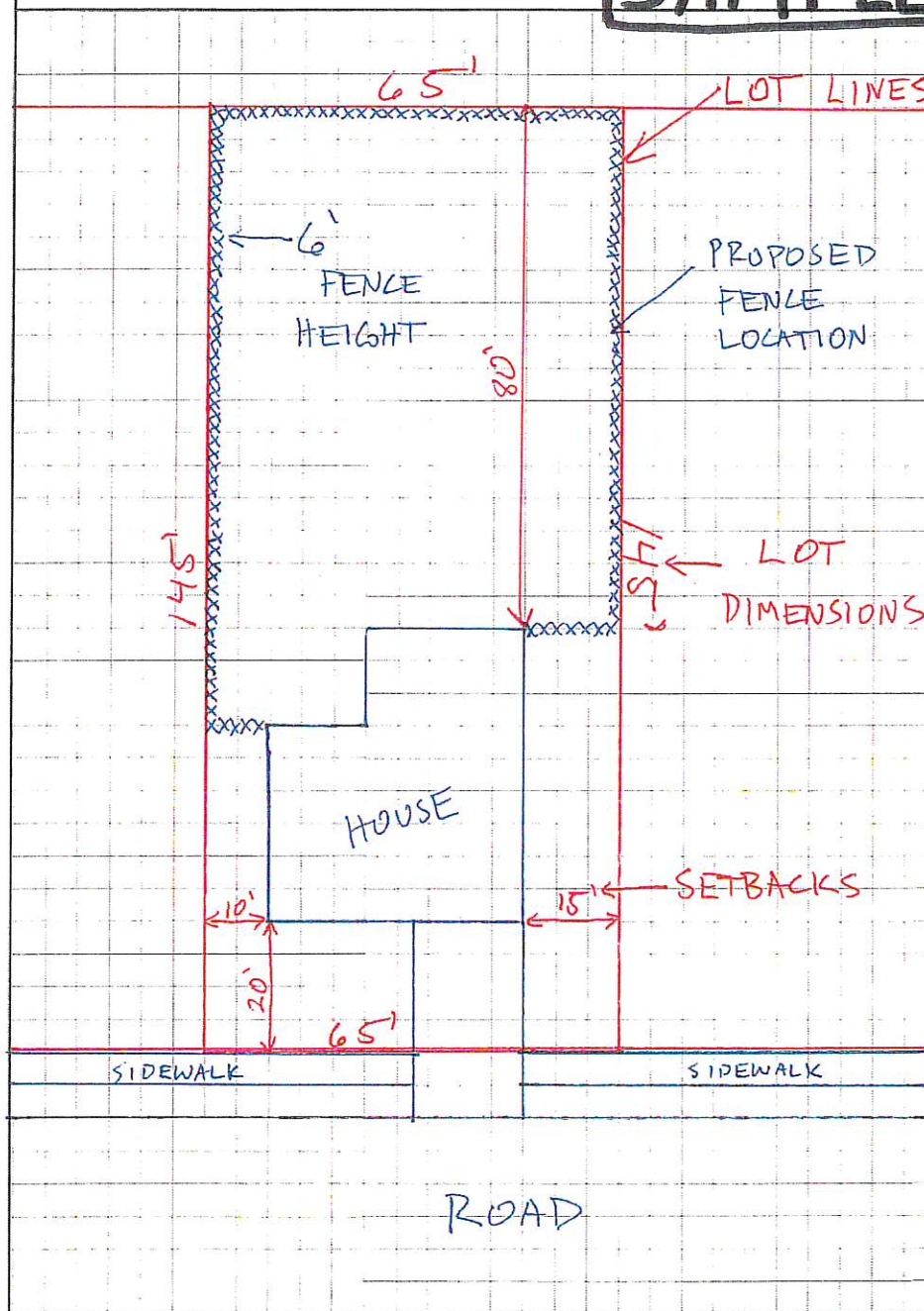
- C. Barbed wire and electric fences: Barbed wire and electric fences shall be subject to the following requirements:
1. Barbed wire and electric fences shall not be allowed in residential or commercial zones.
 2. Barbed wire and electric fences shall be prohibited within five (5) feet of a public sidewalk or within four (4) feet of a street right-of-way where a public sidewalk does not exist.
 3. Electric fences shall not be permitted in any district except for the enclosure of livestock operations in Agricultural zones (A-1).
 4. No electric fence shall carry a charge greater than twenty-five (25) milliamperes nor a pulsating current longer than one-tenth (1/10) per second in a one-second cycle. All electric fence chargers shall carry the seal of an approved testing laboratory.
 5. The provisions of this subsection shall not apply to the fencing of municipal facilities.
- D. Before issuing a development permit for a fence proposed to be located on a lot-line that is shared by two different property owners, the City of Riverside will require the following conditions to be met:
1. The owners of the properties that share the lot-line on which the proposed fence will be located must sign a written agreement that outlines the material the fence will be constructed from, the location of the fence, the height of the fence and its maintenance, and the agreement of both property owners to all of the above conditions.
 2. The agreement must then be filed with the County Recorder.
 3. A copy of the agreement and proof of its filing with the County Recorder must be presented to the City Official responsible for the issuing of fence permits before the permit will be issued.
 4. If agreement cannot be reached between the property owners on a shared lot-line fence, any fence constructed on either property must be a minimum of (3) feet from said shared lot-line.
- E. Before a hedge is proposed to be located on a lot-line that is shared by two different property owners, the City of Riverside will require the following conditions to be met:
1. The owners of the properties that share the lot-line on which the proposed hedge will be located must sign a written agreement that outlines the type of hedges, the location of the hedge, the height of the hedge and maintenance responsibilities, and the agreement of both property owners to all of the above conditions.
 2. The agreement must then be filed with the County Recorder.
 3. A copy of the agreement and proof of its filing with the County Recorder must be presented to the City before the hedge can be located.



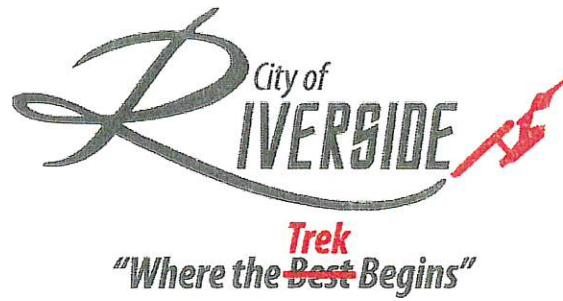
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SITE PLAN SCALE: One (1) square equals five (5) feet

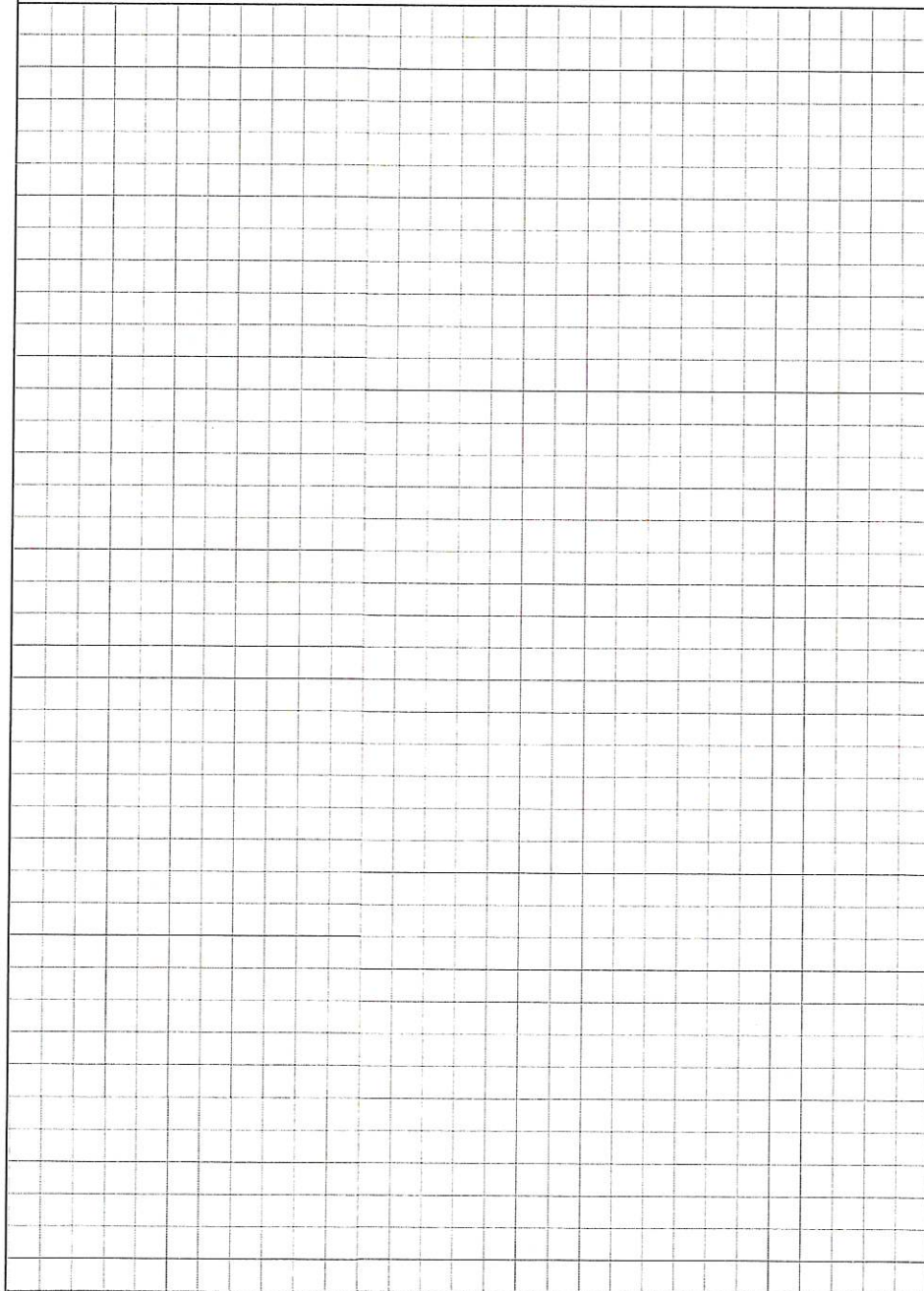
SAMPLE



This grid is provided for convenience purposes. Other site plans containing all required information may be submitted. Required information for site plans include: Property lines with dimensions; sidewalk(s); primary structure; accessory structure(s); and proposed fence location(s) with setback dimensions.



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Prepared by and return to: _____, _____, Riverside, IA 52327.
(Name) (Mailing Address)

Agreement, per Zoning Ordinance of the City of Riverside, regarding fences on the lot-line.

I, _____, am building a fence on the lot-line of my property, _____,
(Name) (Street Address)
Riverside, Iowa.

Material of the fence is: _____

Location of the fence is: _____

Height of the fence is: _____

Neighbor's Agreement:

I agree to the building of a fence on the lot-line that meets all of the above conditions.

Name of Neighbor: _____

Address of Neighbor: _____

Signature of Neighbor: _____

Name of Neighbor: _____

Address of Neighbor: _____

Signature of Neighbor: _____

Name of Neighbor: _____

Address of Neighbor: _____

Signature of Neighbor: _____

Date: _____

Name of Neighbor: _____

Address of Neighbor: _____

Signature of Neighbor: _____

Date: _____

Signature of Property Owner: _____

Date: _____

(4/6/11)